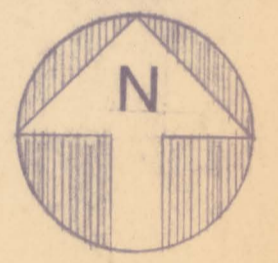


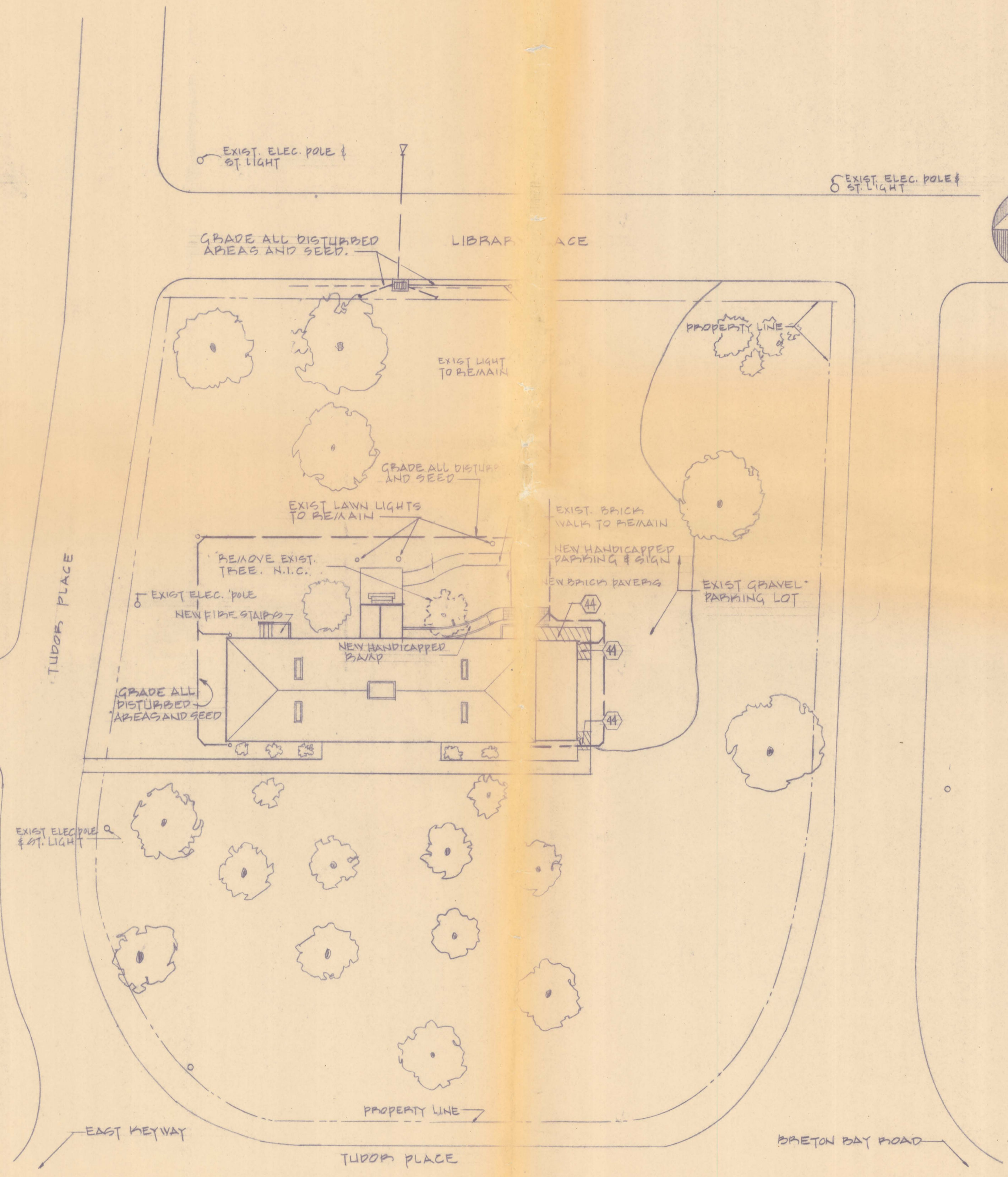
VICINITY MAP



PROJECT SITE



LOCATION MAP



SITE PLAN

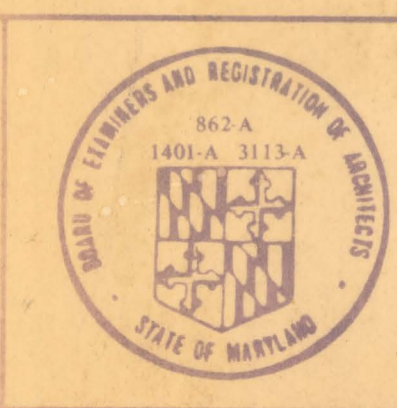
SCALE: 1"=20'

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL INFORMATION CONCERNING EXISTING CONDITIONS TO HIS COMPLETE SATISFACTION PRIOR TO START OF WORK.
2. ALL DISTURBED AREAS ON THE SITE WILL BE GRADED, PROVIDED WITH ADEQUATE TOP SOIL AND SEED.
3. MAJOR ROOT SYSTEMS OF EXISTING TREES WILL NOT BE CUT. TREE ROOTS WILL BE EXCAVATED BY HAND TRENCHING.



RENOVATION OF TUDOR HALL IN LEONARDTOWN
ST. MARY'S COUNTY, MARYLAND



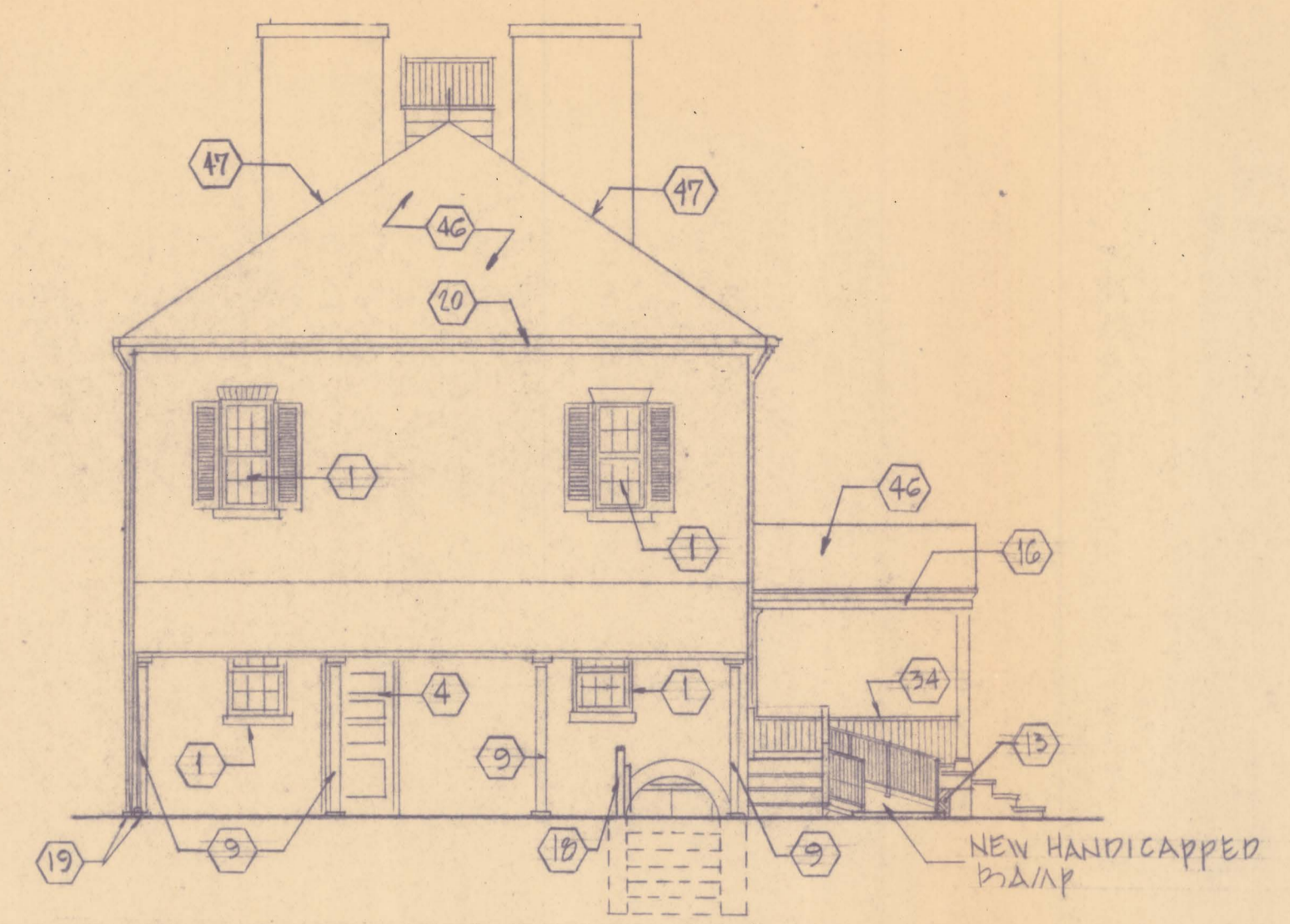
SITE PLAN
& MAPS

SMEALLIE, ORRICK AND JANKA, LTD.
ARCHITECTS PLANNERS
5820 YORK ROAD BALTIMORE, MD. 21212

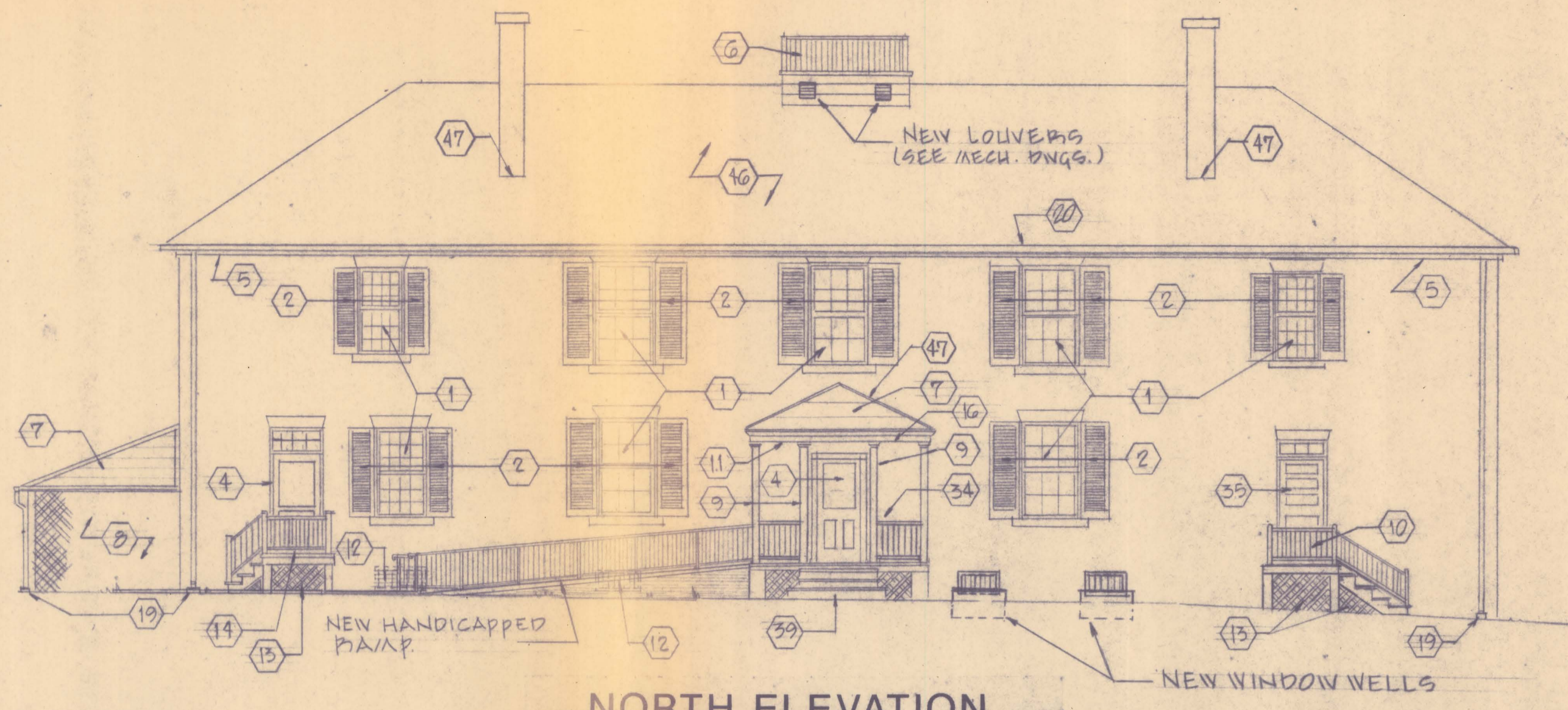
DATE 3-21-89
JOB NO. 87240
DRAWING NO. OF S-1

CONSTRUCTION NOTES

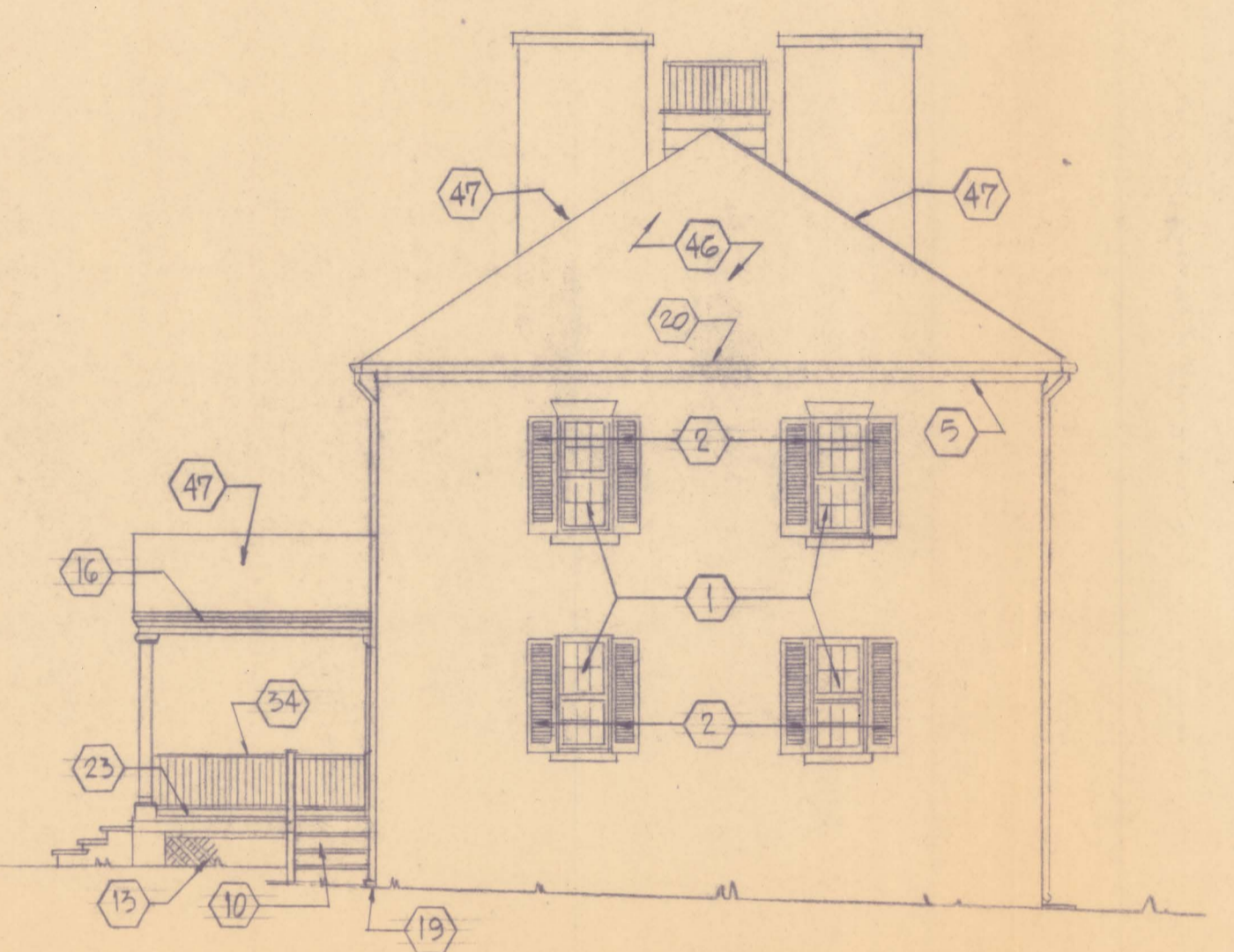
- 1 Remove paint and caulk from existing wood window. Repair as necessary, recaulk and paint wood windows and sills.
- 2 Remove existing shutters, provide new wood shutters and paint. Paint existing shutter clips.
- 3 Remove paint, repair as necessary and repaint shutters and clips at loggia, to match new wood shutters.
- 4 Remove paint and caulk from exterior door and/or transom and sidelights. Repair as necessary, recaulk and paint door, frame, and trim.
- 5 Remove paint from wood cornice and trim. Repair as necessary, recaulk and paint.
- 6 Remove paint from widow's walk. Repair and caulk as necessary. Paint wood siding, railings and trim.
- 7 Remove paint from lap board siding and trim. Repaint siding and trim.
- 8 Paint existing wood lattice and trim.
- 9 Remove paint and repaint existing columns.
- 10 Remove existing steps, decking and posts at northwest porch. Provide new steps, decking, posts, and railings.
- 11 Remove existing paint and repaint ceiling at north porch entrance.
- 12 Remove existing window, frame, and trim. Close opening with brick to match existing as closely as possible.
- 13 Provide new lattice and paint.
- 14 Remove existing paint, repair railing and paint existing northeast porch.
- 15 Remove existing paint, repair as necessary and paint existing pilasters.
- 16 Remove existing paint, repair as necessary and paint existing frieze board and wood trim.
- 17 Remove existing wood grilles. Remove paint and caulk from basement windows. Recaulk, repair as necessary and paint. Repaint wood grilles and reinstall.
- 18 Remove paint from existing wood guardrail and metal handrail. Repair as necessary and paint.
- 19 Modify the bottom of the existing downspout to accommodate new drains.
- 20 Remove existing gutter and provide new copper gutters with screens.
- 21 Remove shelves and standards. Paint bookcase, reinstall standards and shelves.
- 22 Repair existing plaster walls.
- 23 Remove existing decking. Provide new 5/4" fir decking and paint.
- 24 Remove existing dumbwaiter and guide rails. Use existing shaft for new duct work.
- 25 Grind bed mortar joints, restrike joint and paint masonry wainscot.
- 26 Remove existing sheet vinyl. Provide new sheet vinyl and base.
- 27 Paint existing interior wood doors, frames and trim.
- 28 Provide plaster bulkheads for new ductwork.
- 29 Remove door, frame and trim at dumbwaiter. Close existing opening. See detail.
- 30 Remove existing tile flooring and provide new vinyl composition tile to match existing as closely as possible.
- 31 Remove existing wood door, frame and trim. Provide new fire rated frame and door. Reinstall existing wood trim.
- 32 Paint existing wood frame and casing.
- 33 Clean, patch and paint existing masonry walls at fire stair.
- 34 Paint existing railing.
- 35 Remove existing wood door. Provide new 4 panel wood door to match existing. Remove paint and caulk. Recaulk and paint door, frame and trim.
- 36 Paint existing wood chair rail trim at main stair.
- 37 Remove existing cracked marble hearth and provide new marble hearth.
- 38 Provide chase for new piping.
- 39 Remove paint, repair as necessary and paint existing wood steps at north porch.
- 40 Paint existing metal railings, posts, wall brackets, stringers and channels at fire stairs.
- 41 Paint existing wood mantles and trim.
- 42 Modify shelves to accommodate new duct work. Paint wood shelves.
- 43 Exposed ductwork.
- 44 Remove existing brick pavers to accommodate new storm water drains. Reinstall brick pavers.
- 45 Existing brick piers to remain. Repair and repaint as necessary.
- 46 Remove existing shingles and felt paper. Provide new shakes and felt paper.
- 47 Remove existing flashing and caulk. Provide new flashing and caulk.
- 48 Provide metal edging at brick pavers.



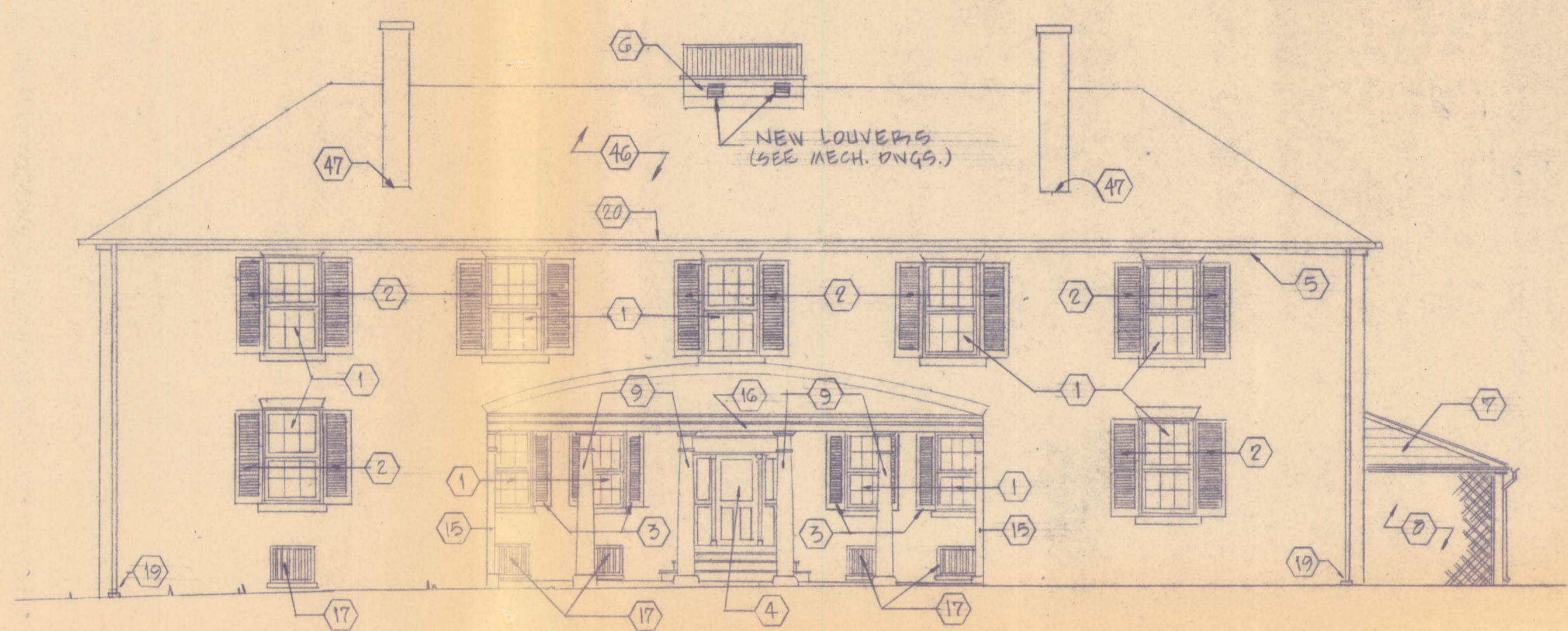
EAST ELEVATION
SCALE: 1/8" = 1'-0"



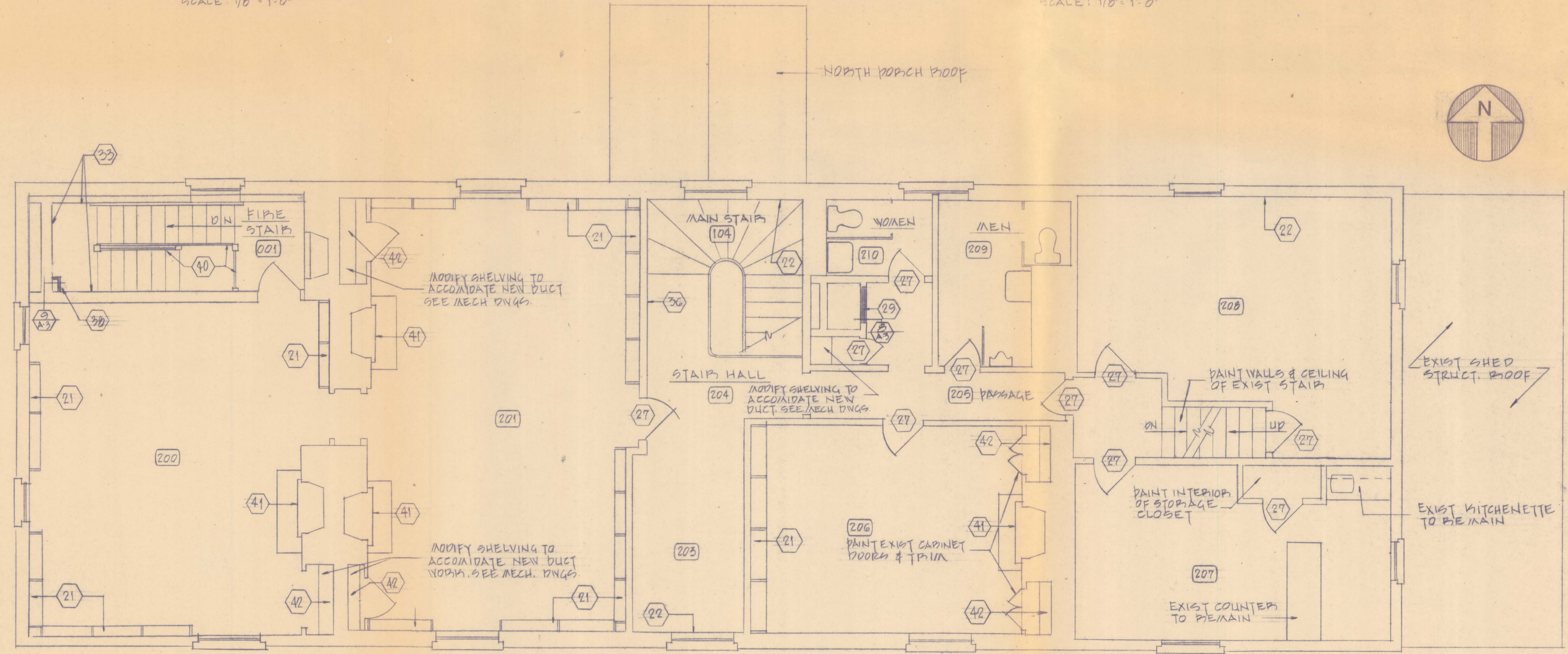
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

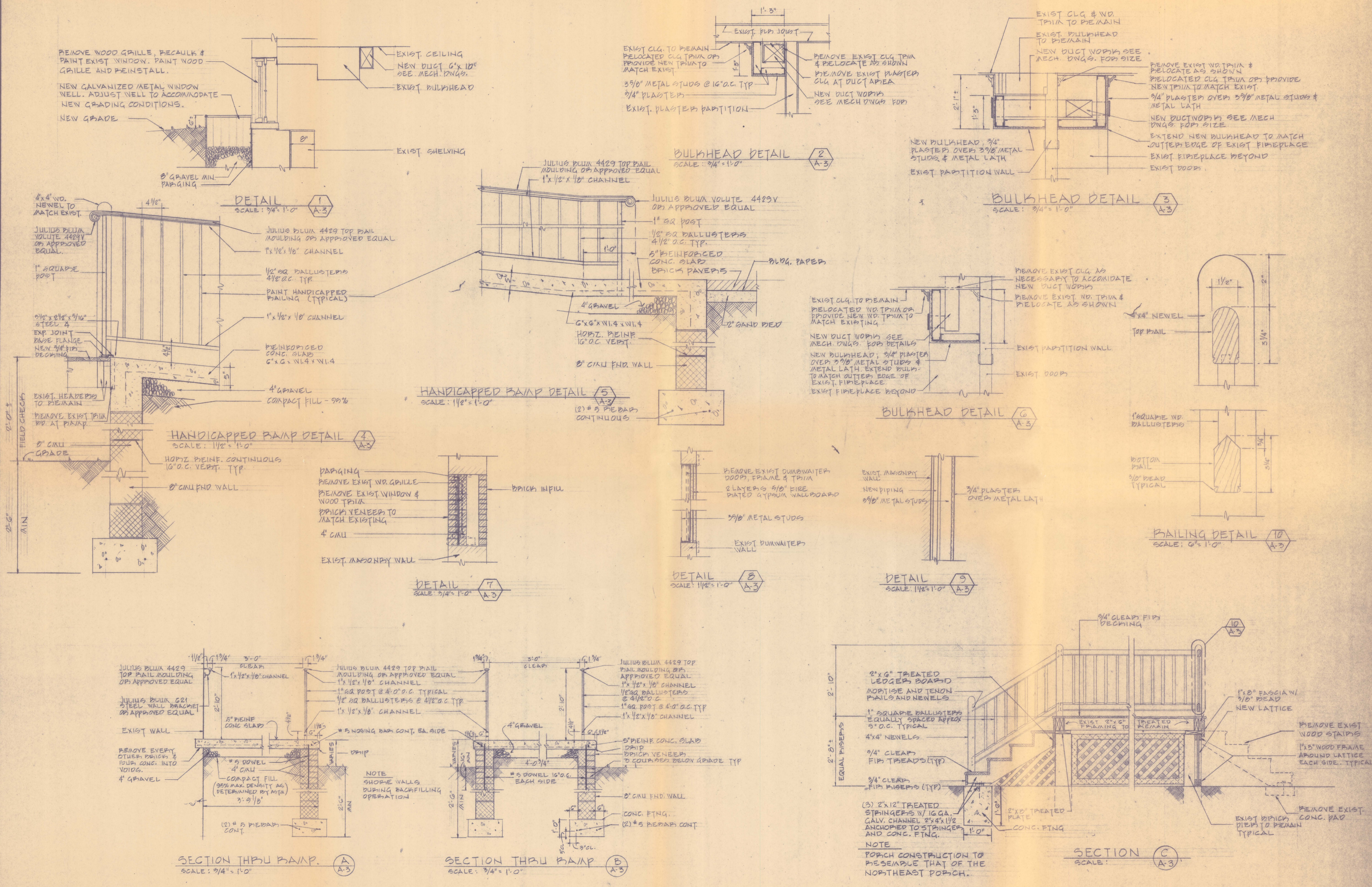
NOTES
1 REMOVE EXISTING SHELVING IN ATTIC SPACE TO ACCOMMODATE NEW MECHANICAL EQUIPMENT.
2 REPAIR CEILING & FLOORS AS NECESSARY, AFTER DUCTWORK IS INSTALLED.



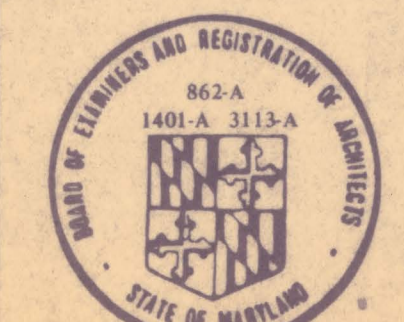
**RENOVATION OF TUDOR HALL IN LEONARDTOWN
ST. MARY'S COUNTY, MARYLAND**



PLAN & ELEVATIONS
SMEALLIE, ORRICK AND JANKA, LTD.
ARCHITECTS AND PLANNERS
5820 YORK ROAD BALTIMORE, MD. 21212



RENOVATION OF TUDOR HALL IN LEONARDTOWN
ST. MARY'S COUNTY, MARYLAND



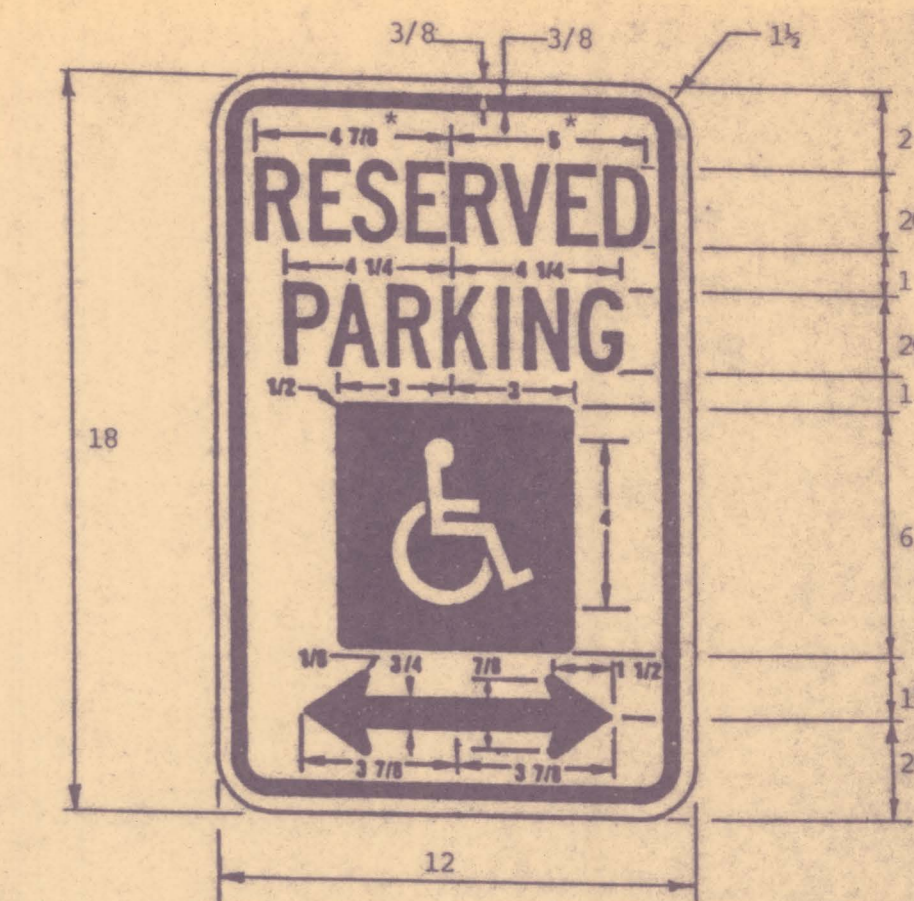
SECTIONS & DETAILS
DATE 3-21-89
JOB NO. 87240
SMEALLIE, ORRICK AND JANKA, LTD.
ARCHITECTS PLANNERS
5820 YORK ROAD BALTIMORE, MD. 21212
DRAWING NO. OF A-3



FINISH SCHEDULE						
No	FLOOR	BASE	WALLS	CEILING	CORNICE	REMARKS
001	EXIST. CONC.		PAINT EXIST. MAS.	PAINT PLASTER CLG. AT LANDING		
002	NEW SHEET VINYL	NEW VINYL	PAINT EXIST. MAS. & GYP. BD.	PAINT EXIST. GYP. BD.		
003	EXIST. V.C.T.	PAINT WOOD	PAINT EXIST. MAS.	PAINT EXIST. GYP. BD.		
004	NEW V.C.T.		PAINT EXIST. MAS. & GYP. BD.	EXIST. S.A.T.C.		SEE NOTE 60
005	EXIST. CONC.					
006	EXIST. SHEET VINYL	PAINT WOOD	PAINT EXIST. PLASTER	PAINT EXIST. GYP. BD.		
007	EXIST. SHEET VINYL	PAINT WOOD	PAINT EXIST. PLASTER	PAINT EXIST. GYP. BD.		
100	EXIST. CARPET	PAINT WOOD	PAINT EXIST. PLASTER	PAINT EXIST. PLASTER	PAINT WOOD	
101	EXIST. SHEET VINYL	PAINT WOOD	PAINT EXIST. PLASTER	PAINT EXIST. PLASTER		
102	EXIST. CARPET	PAINT WOOD	PAINT EXIST. PLASTER	PAINT EXIST. PLASTER	PAINT WOOD	
103	EXIST. CARPET	PAINT WOOD	PAINT EXIST. PLASTER	PAINT EXIST. PLASTER	PAINT WOOD	
104	EXIST. CARPET	PAINT WOOD	PAINT EXIST. PLASTER	PAINT EXIST. PLASTER	PAINT WOOD	
105	EXIST. CARPET	PAINT WOOD	PAINT EXIST. PLASTER	PAINT EXIST. PLASTER	PAINT WOOD	
106	EXIST. BRICK	PAINT WOOD	PAINT EXIST. PLASTER	PAINT EXIST. PLASTER		
107	EXIST. CARPET	PAINT WOOD	PAINT EXIST. PLASTER	PAINT EXIST. PLASTER		
108	EXIST. CARPET	PAINT WOOD	PAINT EXIST. PLASTER	PAINT EXIST. PLASTER	PAINT WOOD	
200	EXIST. CARPET	PAINT WOOD	PAINT EXIST. PLASTER	PAINT EXIST. PLASTER	PAINT WOOD	
201	EXIST. CARPET	PAINT WOOD	PAINT EXIST. PLASTER	PAINT EXIST. PLASTER	PAINT WOOD	
203	EXIST. CARPET	PAINT WOOD	PAINT EXIST. PLASTER	PAINT EXIST. PLASTER	PAINT WOOD	
204	EXIST. CARPET	PAINT WOOD	PAINT EXIST. PLASTER	PAINT EXIST. PLASTER	PAINT WOOD	
205	EXIST. CARPET	PAINT WOOD	PAINT EXIST. PLASTER	PAINT EXIST. PLASTER		
206	EXIST. CARPET	PAINT WOOD	PAINT EXIST. PLASTER	PAINT EXIST. PLASTER	PAINT WOOD	
207	EXIST. CARPET	PAINT WOOD	PAINT EXIST. PLASTER	PAINT EXIST. PLASTER		
208	EXIST. CARPET	PAINT WOOD	PAINT EXIST. PLASTER	PAINT EXIST. PLASTER		
209	EXIST. SHEET VINYL	PAINT WOOD	PAINT EXIST. PLASTER/GYP. BD.	PAINT EXIST. PLASTER		
210	EXIST. SHEET VINYL	PAINT WOOD	PAINT EXIST. PLASTER/GYP. BD.	PAINT EXIST. PLASTER		

ABBREVIATIONS

- CONC. — CONCRETE
- CLG. — CEILING
- GYP. BD. — GYPSUM WALL BOARD
- MAS. — MASONRY
- S.A.T.C. — SUSPENDED ACOUSTICAL TILE CEILING
- V.C.T. — VINYL COMPOSITION TILE



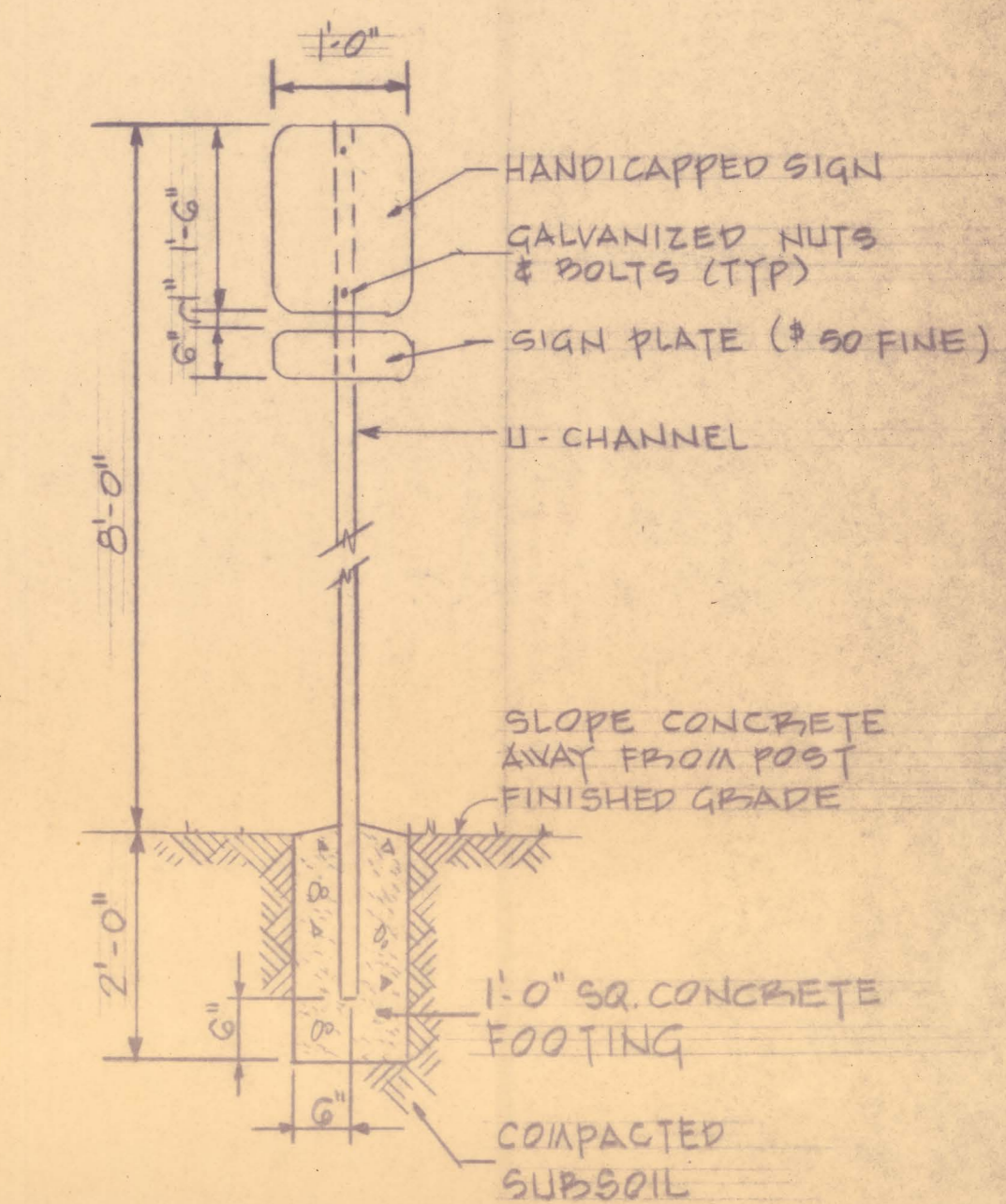
*REDUCE SPACING 50 PERCENT

COLORS

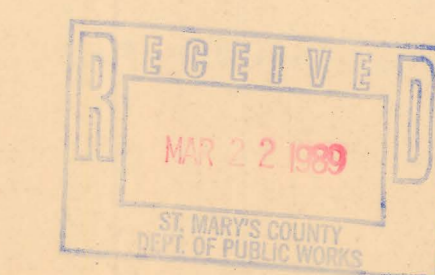
LEGEND AND BORDER — GREEN
 WHITE SYMBOL ON BLUE BACKGROUND
 BACKGROUND — WHITE

HANDICAPPED SIGN DETAIL
 NO SCALE

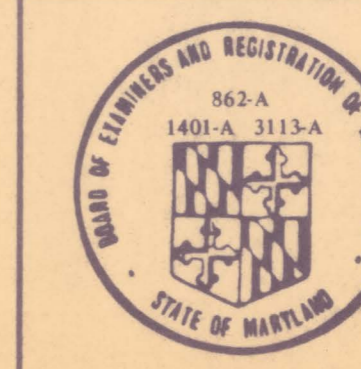
NOTE
 SEE SITE PLAN (S-1) FOR
 SIGN LOCATION.



CONSTRUCTION DETAIL
 NO SCALE



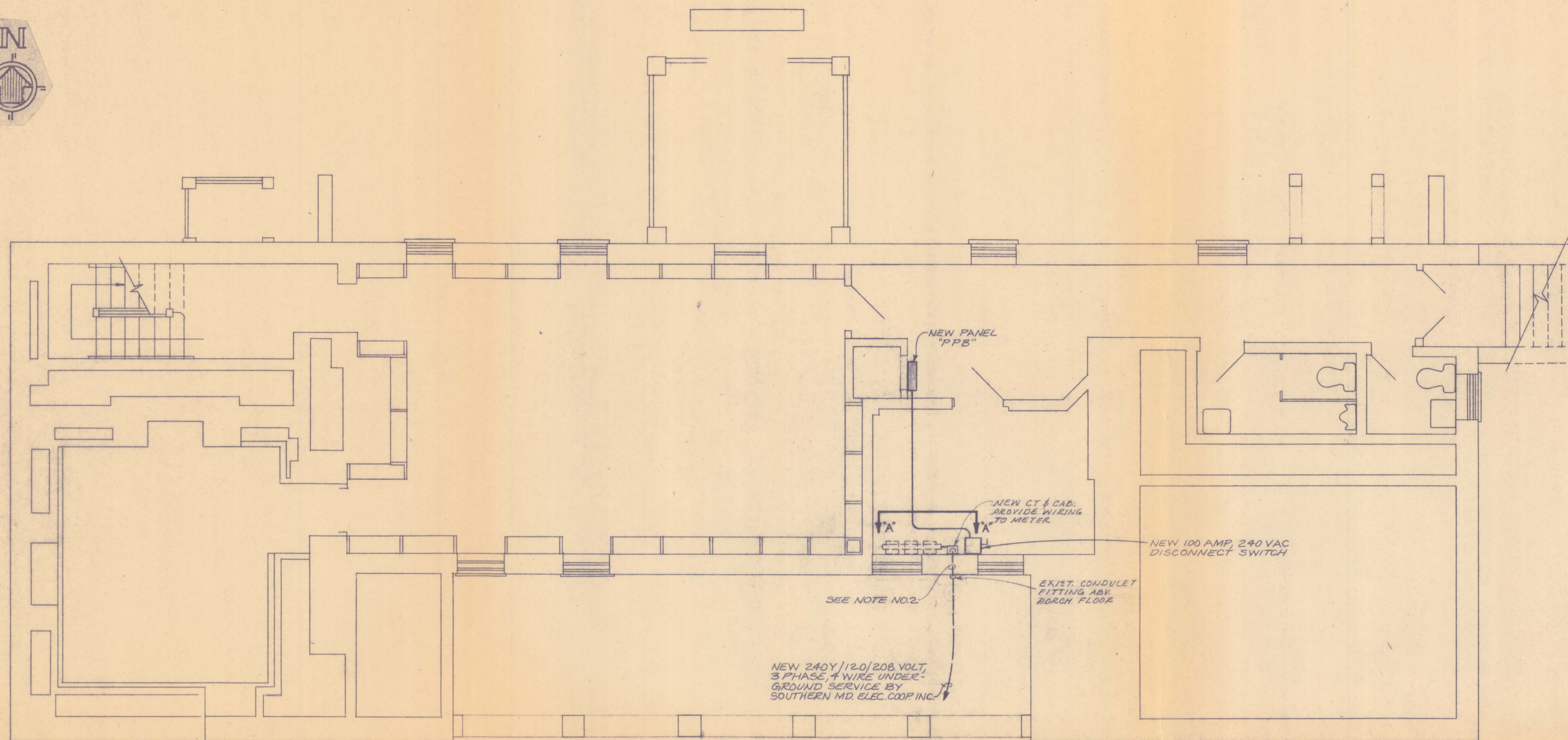
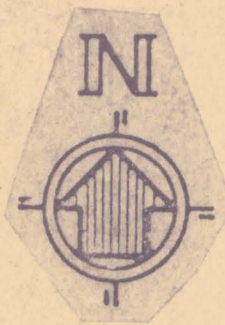
RENOVATION OF TUDOR HALL IN LEONARDTOWN
 ST. MARY'S COUNTY, MARYLAND



FINISH SCHEDULE

SMEALLIE, ORRICK AND JANKA, LTD.
 ARCHITECTS
 5820 YORK ROAD BALTIMORE, MD. 21212

DATE 3-21-89
 JOB NO 87240
 DRAWING NO OF A-4

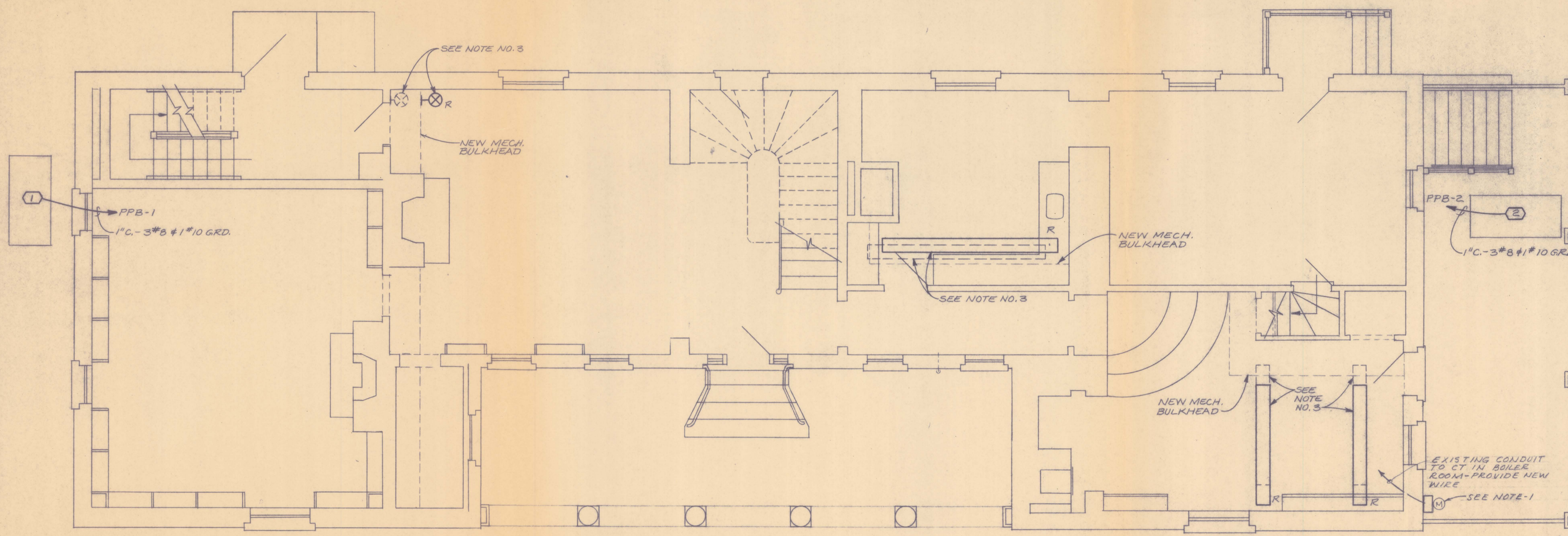


BASEMENT PLAN

SCALE: 1/4" = 1'-0"

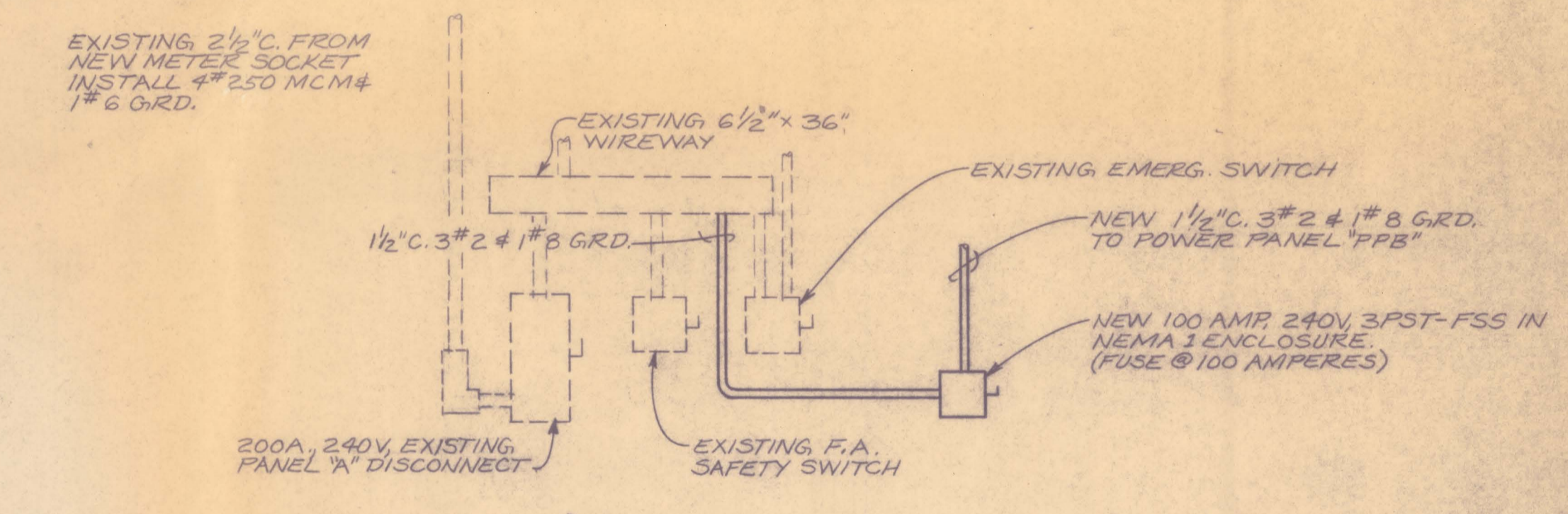
PANEL PPB		240 VOLT - 3 PHASE - 3 WIRE			
100 AMPERE MAIN LUGS ONLY		SURFACE MOUNTED ENCLOSURE			
CKT. NO.	SERVING	BREAKERS POLE AMP	CKT. NO.	SERVING	BREAKERS POLE AMP
1	CONDENSING UNIT CU-1	3 60	2	CONDENSING UNIT CU-2	3 60
3			4		
5			6		
7	AIR CONDITIONING UNIT ACU-1	3 20	8	AIR CONDITIONING UNIT ACU-2	3 20
9			10		
11			12		
13	SPACE		14	SPACE	
15	SPACE		16	SPACE	
17	SPACE		18	SPACE	

SCHEDULE OF SPECIAL EQUIPMENT CONNECTIONS			
ITEM	DESCRIPTION	CHARACTERISTICS	REMARKS
①	CONDENSING UNIT CU-1	230V 3P 30.3 FLA	FURNISH & INSTALL 240V, 60A, 3PST-NFSS IN NEMA 3R ENCLOSURE AND MAKE ALL FINAL CONNECTIONS TO UNIT
②	CONDENSING UNIT CU-2	230V 3P 35.5 FLA	FURNISH & INSTALL 240V, 60A, 3PST-NFSS IN NEMA 3R ENCLOSURE AND MAKE ALL FINAL CONNECTIONS TO UNIT
③	AIR CONDITIONING UNIT ACU-1	230V 3P 9.2 FLA	FURNISH & INSTALL 240V, SIZE D' COMB. MAGNETIC MOTOR STARTER, NEMA 3R ENCL. ON ROOF @ UNIT & MAKE ALL FINAL CONNECTIONS TO UNIT
④	AIR CONDITIONING UNIT ACU-2	230V 3P 9.2 FLA	FURNISH & INSTALL 240V, SIZE D' COMB. MAGNETIC MOTOR STARTER, NEMA 3R ENCL. ON ROOF & MAKE ALL FINAL CONNECTIONS TO UNIT



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



ELEVATION "A-A"

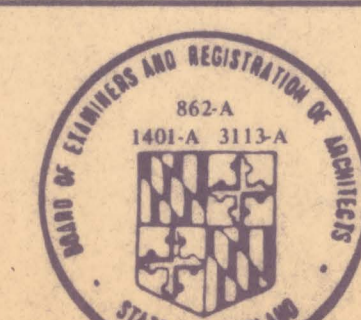
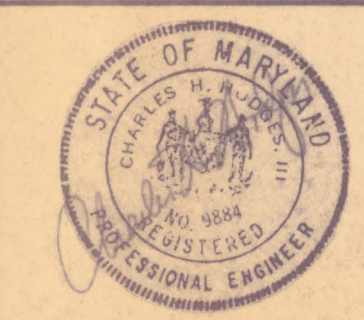
NOT TO SCALE

NOTES:

- EXISTING METERING EQUIPMENT TO BE REMOVED. NEW ELECTRIC METER AND SOCKET (FURNISHED BY POWER COMPANY) SHALL BE INSTALLED BY ELECTRICAL CONTRACTOR.
- EXISTING 2 1/2" CONDUIT TO REMAIN AND BE UTILIZED FOR NEW SERVICE ENTRANCE CONDUCTORS. EXISTING 3" & 4" TO BE DISCONNECTED AND REMOVED. INSTALL NEW 4" & 250 MCM & 1" & 6 BRD.
- EXISTING LIGHTING FIXTURES SHALL BE DISCONNECTED AND DELICATED AS INDICATED TO AVOID INTERFERENCE WITH NEW MECHANICAL BULKHEAD.



**RENOVATION OF TUDOR HALL IN LEONARDTOWN
ST. MARY'S COUNTY, MARYLAND**

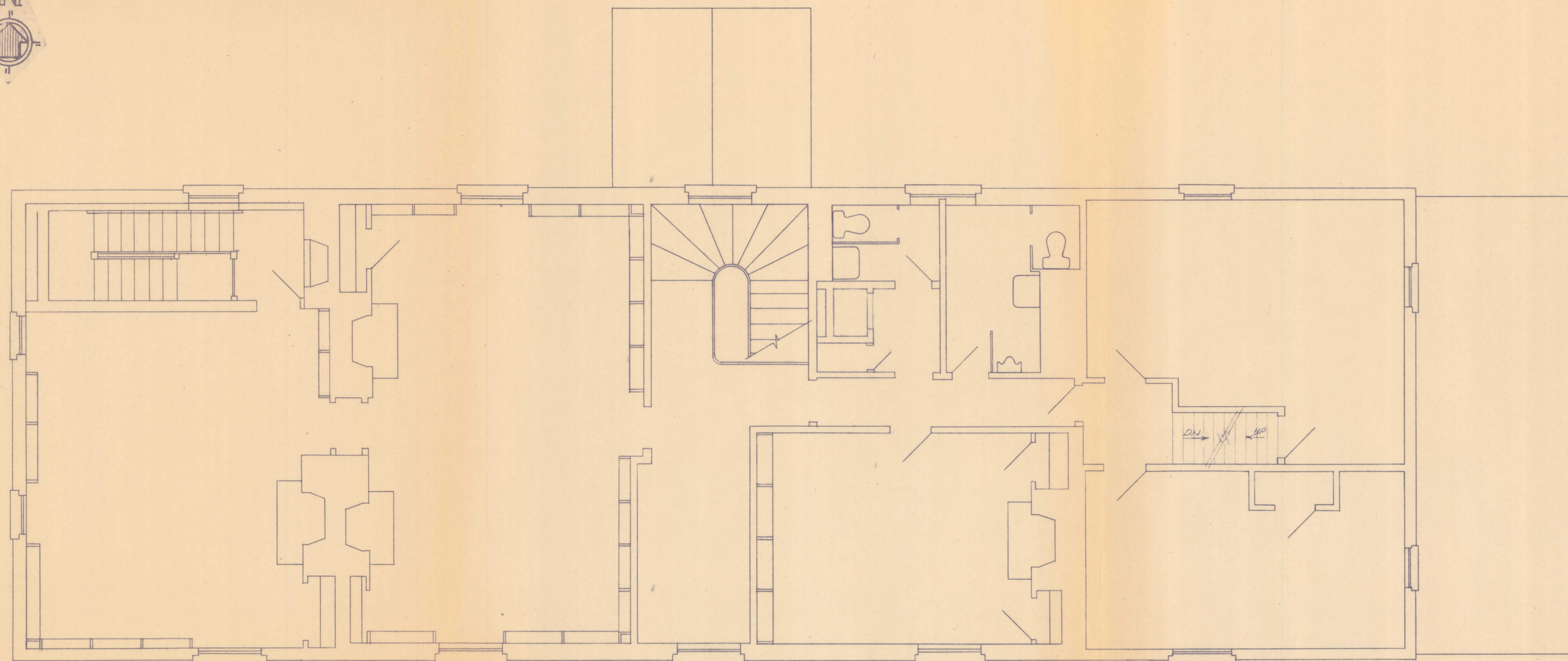
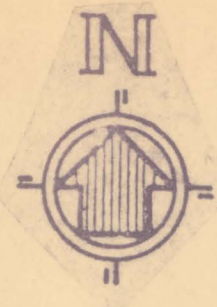


**ELECTRICAL BASEMENT &
FIRST FLOOR PLANS**

SMEALLIE, ORRICK AND JANKA, LTD.
ARCHITECTS PLANNERS
5820 YORK ROAD BALTIMORE, MD. 21212

DATE 3-21-89
JOB NO.
DRAWING NO. E-1
OF 2

CENTURY M&E, INC.
1417 E. 20TH STREET
BALTIMORE, MARYLAND 21202
410-435-3500




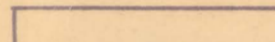
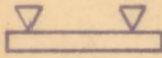



SECOND FLOOR PLAN

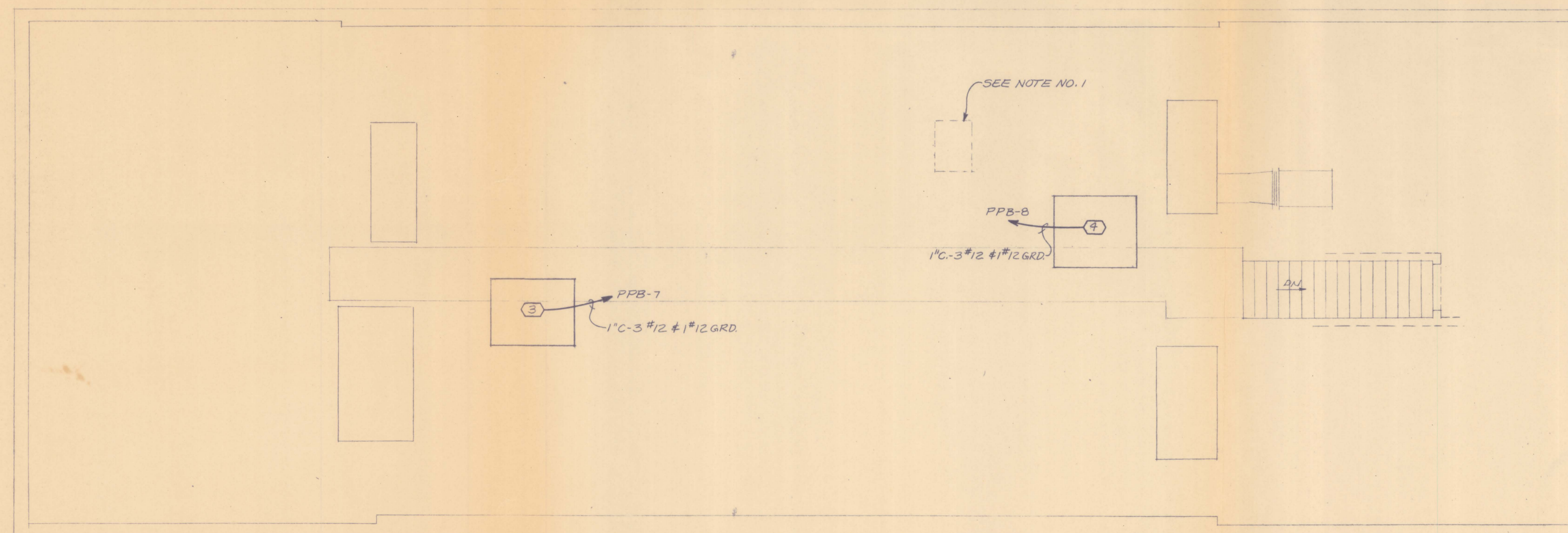
SCALE: 1/4" = 1'-0"

NOTES:

1. CONTRACTOR SHALL UTILIZE EXISTING VERTICAL CHASE FOR CONDUIT RUNS FOR NEW ROOFTOP UNITS DOWN TO POWER PANEL "PPB". CONDUIT SHALL BE GALVANIZED RIGID STEEL AND CONDUCTORS SHALL BE RATED FOR INSTALLATION IN A RETURN AIR PLENUM.

LEGEND

-  EXISTING FLUORESCENT LIGHTING FIXTURE
-  RELOCATED FLUORESCENT LIGHTING FIXTURE
-  TRACK LIGHT, TRIANGLES INDICATE TRACK FIXTURES
-  SAFETY DISCONNECT SWITCH
-  JUNCTION BOX
-  SPECIAL EQUIPMENT CONNECTION, REFER TO SCHEDULE ON DRAWING E-1
- CONDUIT AND WIRE, CONCEALED IN WALLS OR ABOVE CEILINGS.



ROOF SPACE PLAN

SCALE: 1/4" = 1'-0"



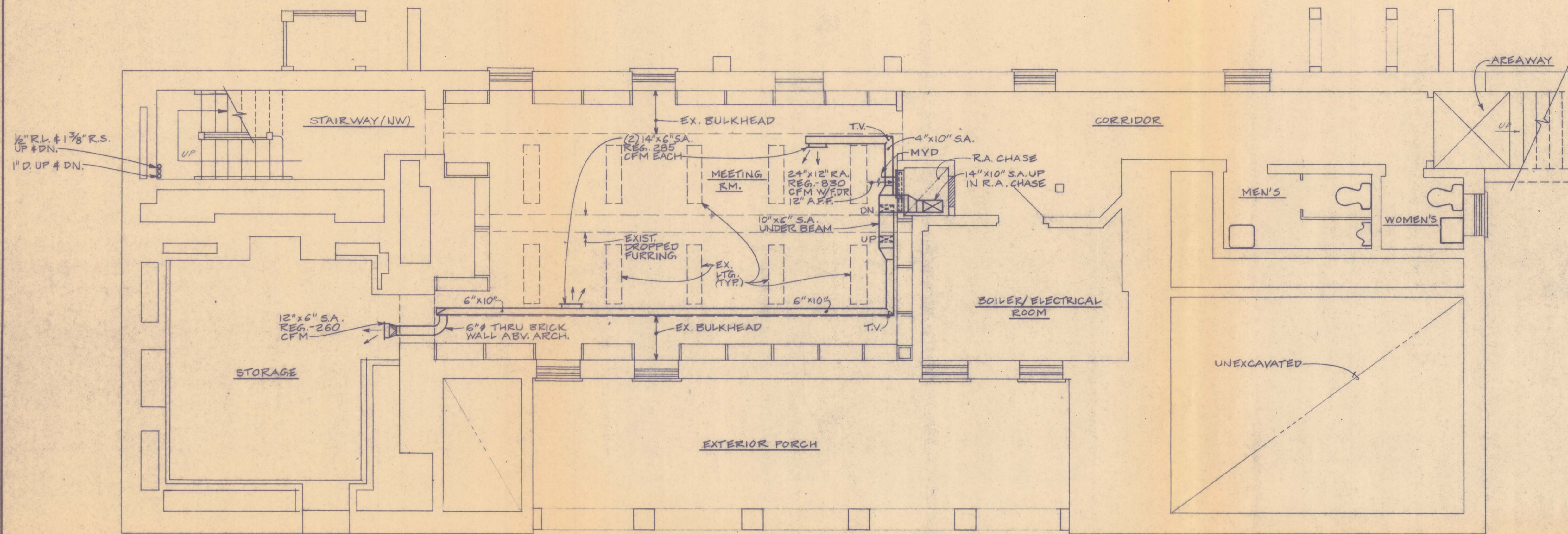
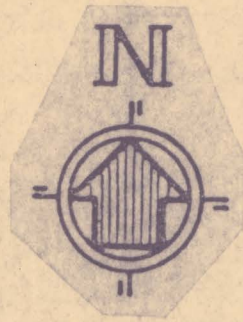
**RENOVATION OF TUDOR HALL IN LEONARDTOWN
ST. MARY'S COUNTY, MARYLAND**



**ELECTRICAL SECOND FLOOR &
ROOF SPACE PLANS**
SMEALLIE, ORRICK AND JANKA, LTD.
ARCHITECTS
5820 YORK ROAD BALTIMORE, MD. 21212

DATE 3-21-89
JOB NO.
DRAWING NO. E-2
OF 2

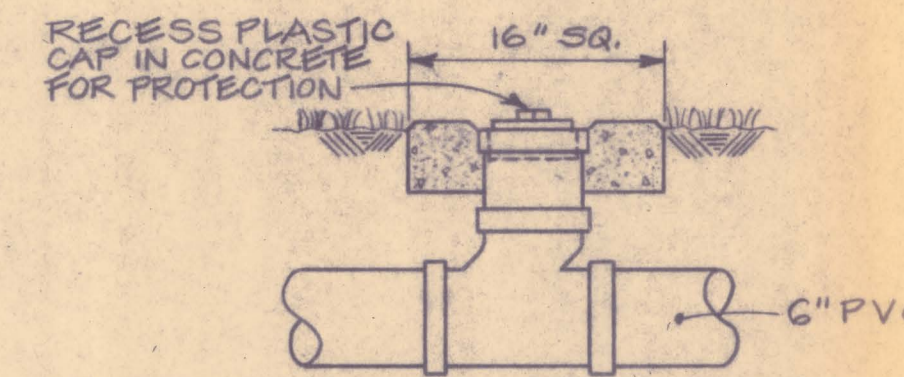
CENTURY M & E INC.
SUITE 200, THE BALDWIN BUILDING
VILLAGE CH CHARLES KEYS
BALTIMORE, MARYLAND 21202
301 433-2300



BASEMENT PLAN

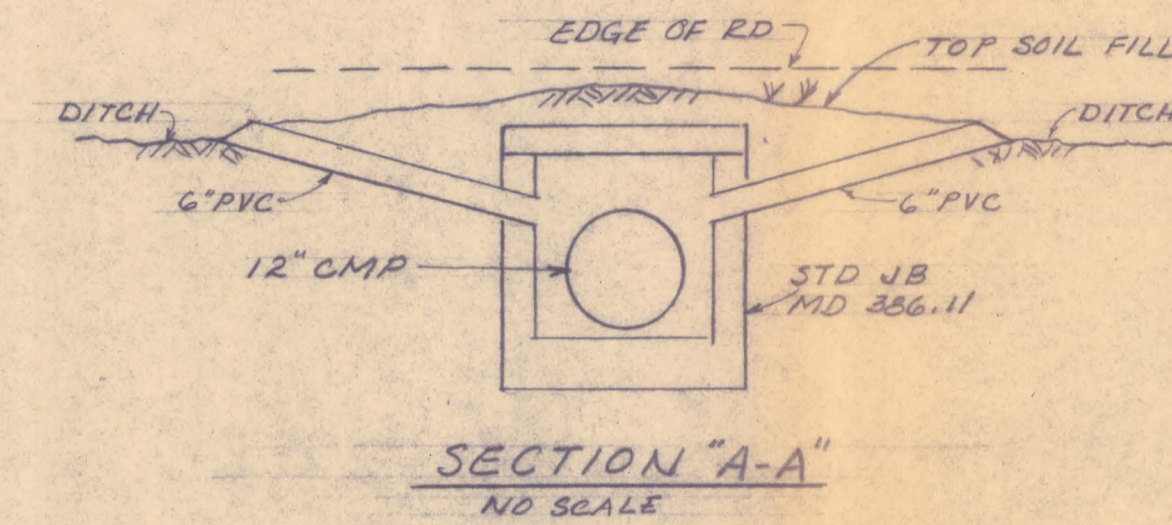
SCALE: 1/4"=1'-0"

GENERAL NOTE
VERIFY ALL SPACIAL DIMENSIONS SUCH AS BETWEEN JOISTS, ROOF FRAMING, ETC. BEFORE FABRICATING DUCTWORK.



CLEANOUT DETAIL

SCALE: 1"=1'-0"

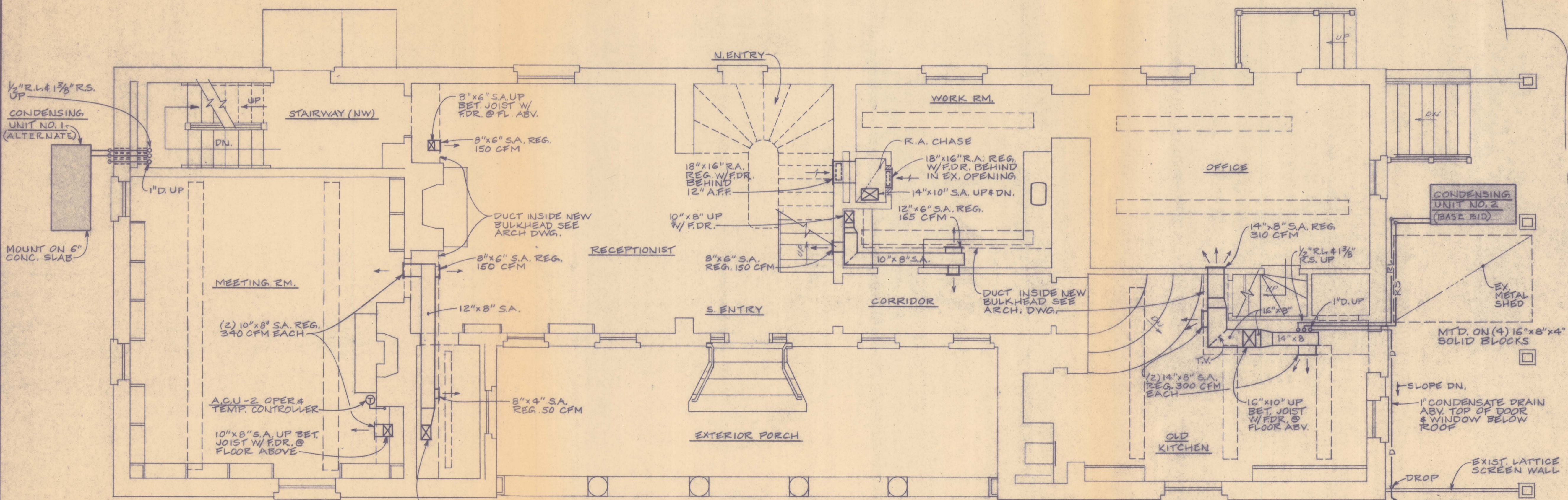


SECTION "A-A"

NO SCALE

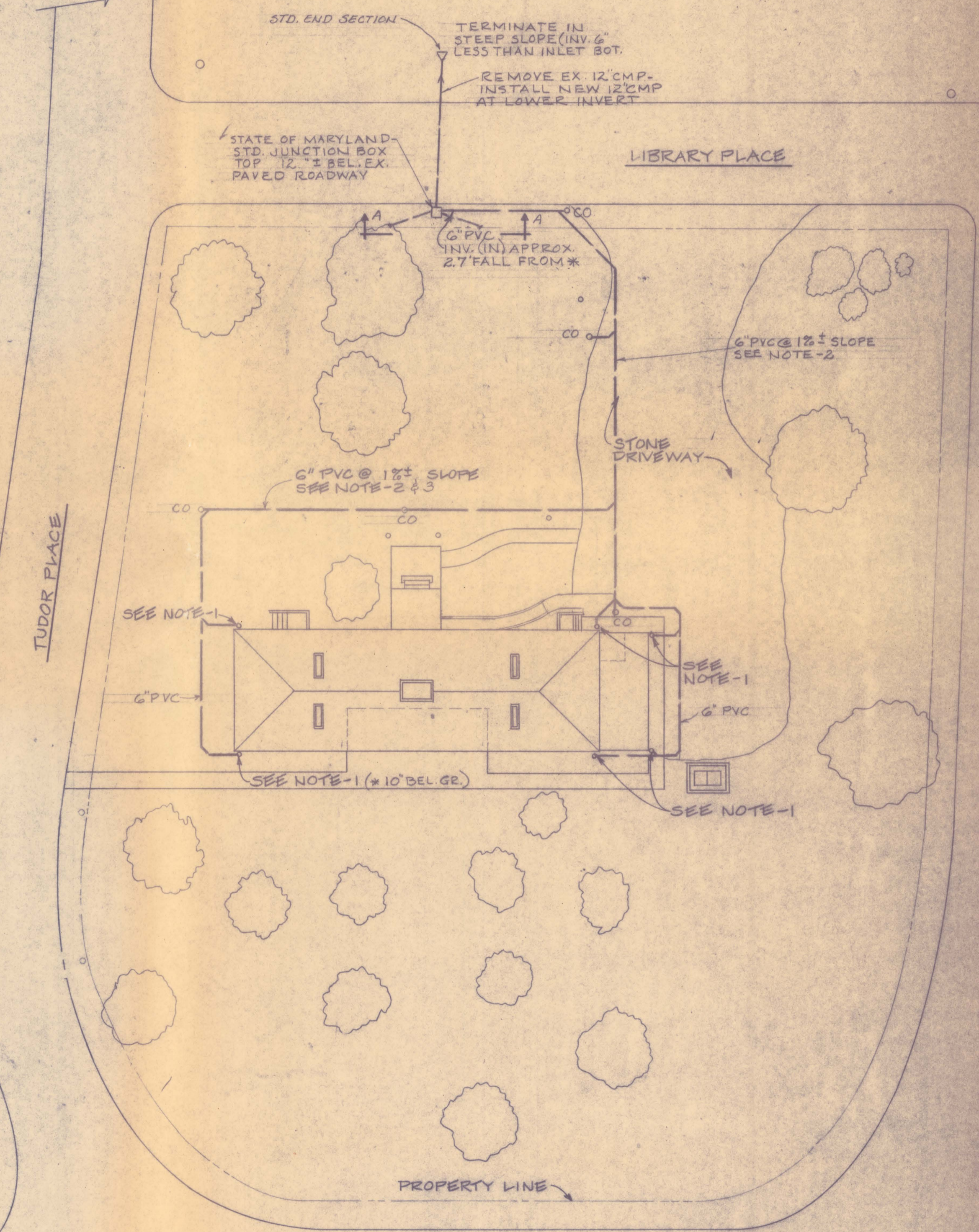
MECHANICAL LEGEND

- STORM WATER; S.W.
- D — CONDENSATE DRAIN; D
- RL — REFRIGERANT LIQUID; R.L.
- RS — REFRIGERANT SUCTION; R.S.
- ⊖ — THERMOSTAT
- DIFF — DIFFUSER
- FDR — FIRE DAMPER
- M.V.D. — MANUAL VOLUME DAMPER
- O.A. — OUTSIDE AIR
- REG. — REGISTER
- R.A. — RETURN AIR
- S.A. — SUPPLY AIR
- SD. — SMOKE DETECTOR
- S.F.D. — SMOKE-FIRE DAMPER
- T.V. — TURNING VANES
- CLG. — CEILING
- ABV. — ABOVE
- BET. — BETWEEN
- W/ — WITH



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



SITE PLAN

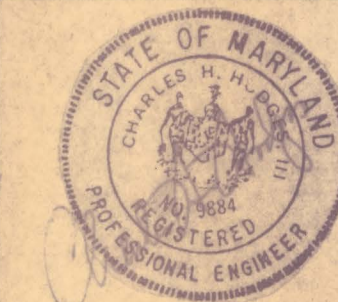
SCALE: 1"=20'

REFERENCE NOTES:

- 1- TERMINATE 6" PVC STORM WATER DRAIN 2" ABOVE GRADE. REMOVE COPPER ELBOWS FROM EXISTING COPPER DOWNSPOUT AND EXTEND DOWNSPOUT DOWN INTO 6" PVC. INVERT OF NEW 6" PVC SHALL BE 10" BELOW GRADE AT DOWNSPOUT.
- 2- VERIFY BOTTOM ELEVATION OF NEW INLET BEFORE SETTING SLOPE OF LINE.
- 3- DO NOT CUT ANY MAJOR ROOT SYSTEMS OF EXIST. TREES. HAND TRENCH IN THESE AREAS.



**RENOVATION OF TUDOR HALL IN LEONARDTOWN
ST. MARY'S COUNTY, MARYLAND**



MECHANICAL BASEMENT

FIRST FLOOR & UTILITIES PLAN

SMEALLIE, ORRICK AND JANKA, LTD.
ARCHITECTS
5820 YORK ROAD BALTIMORE, MD. 21212

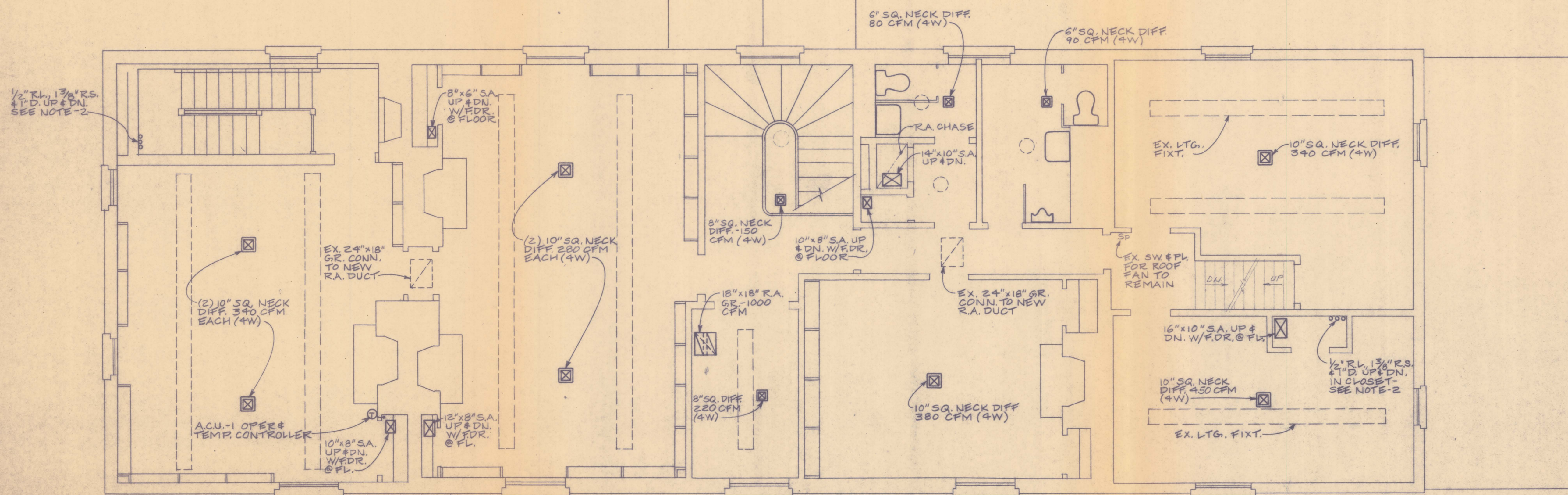
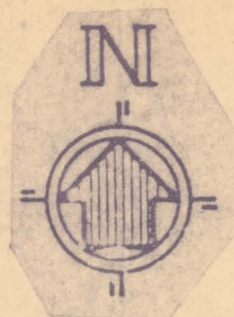
DATE 3-21-89

JOB NO

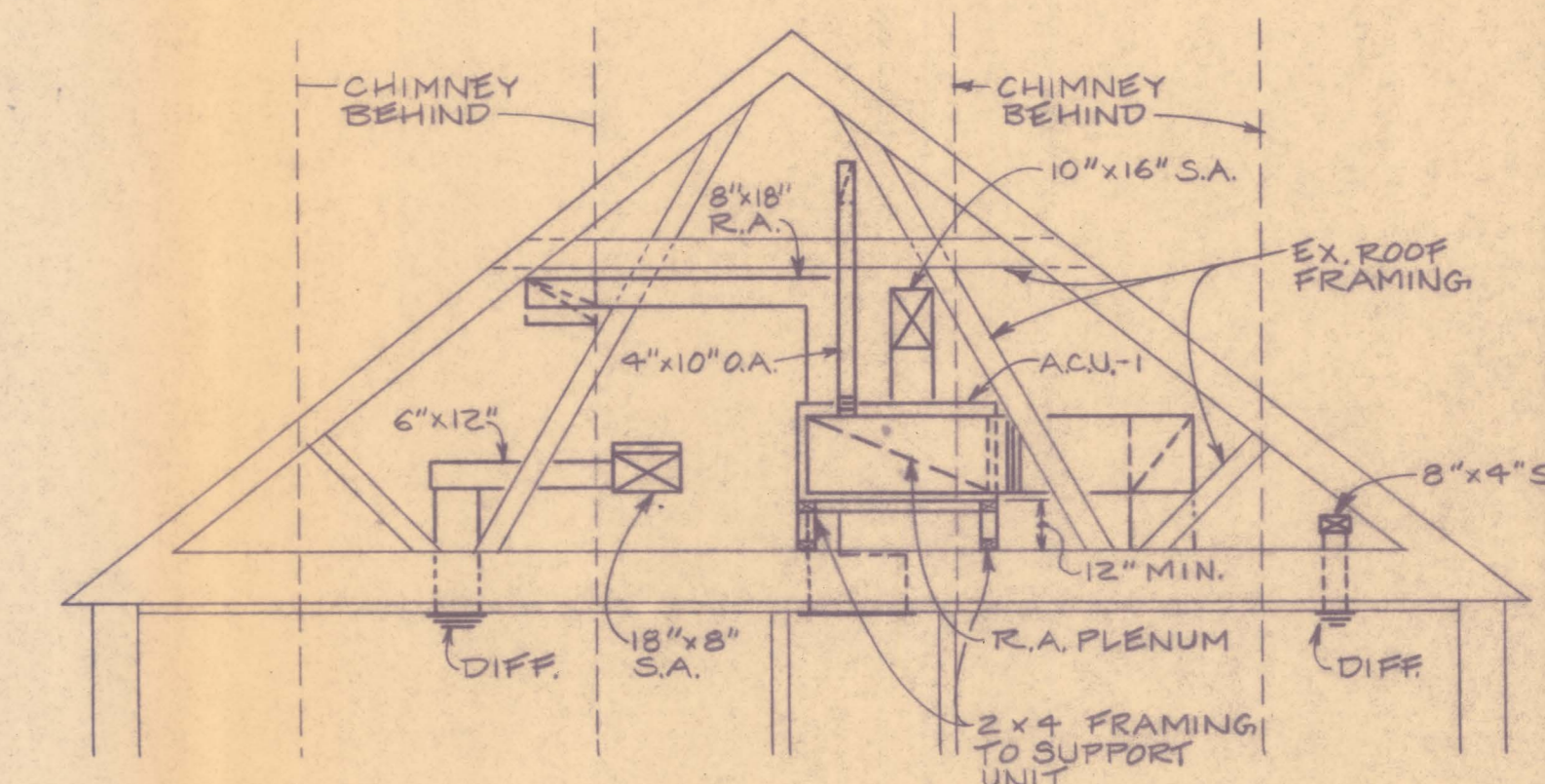
DRAWING NO M-1

OF 2

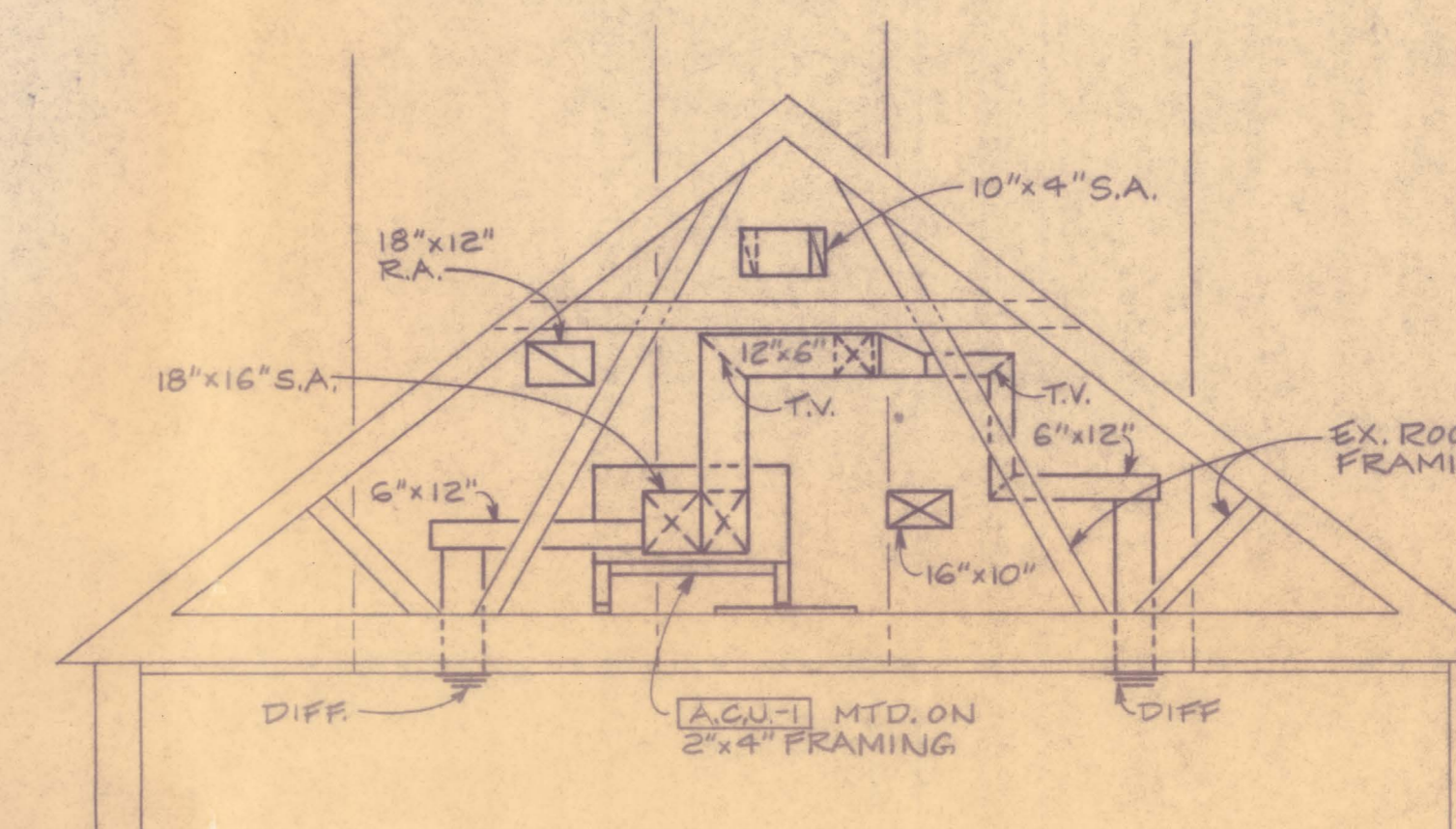




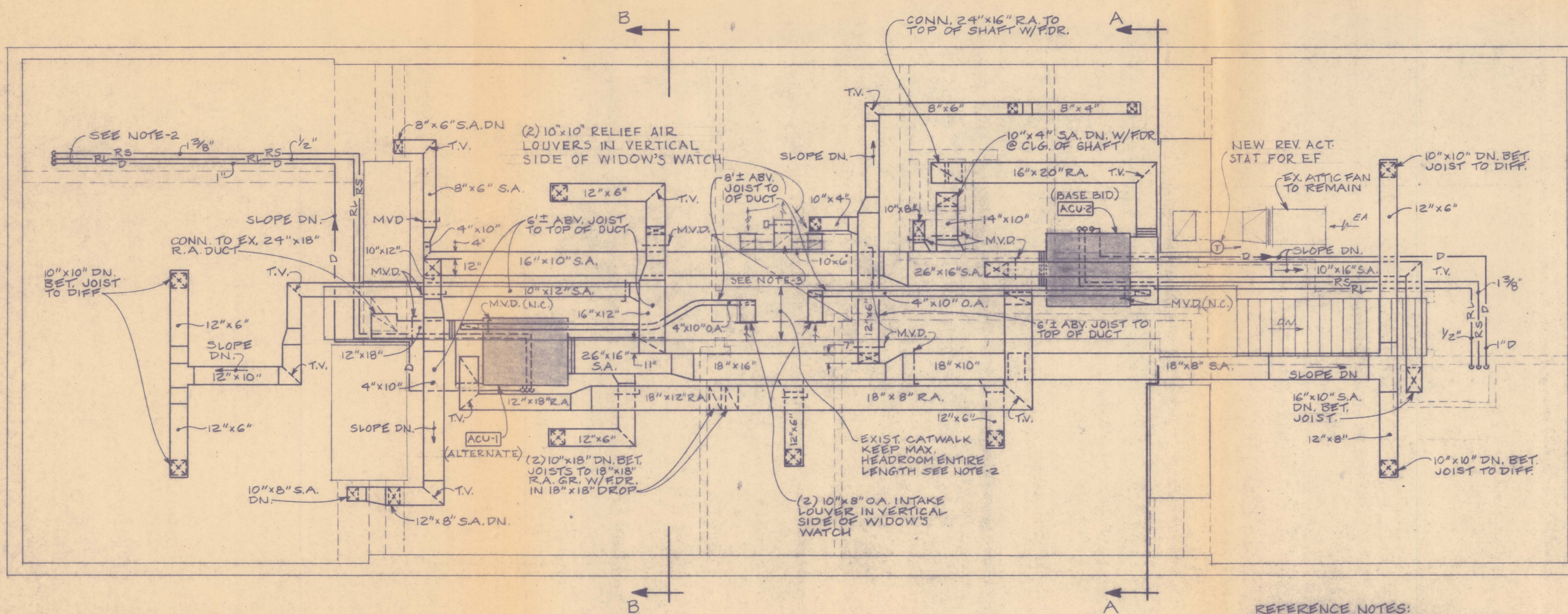
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



SECTION A-A
SCALE: 1/4" = 1'-0"



SECTION B-B
SCALE: 1/4" = 1'-0"



ROOF SPACE PLAN
SCALE: 1/4" = 1'-0"

EQUIPMENT CAPACITIES

BASE BID

SPLIT SYSTEM HEAT PUMP AIR CONDITIONING (ACU-2) - 1ST FLOOR:

3000 CFM @ .60" ESP, 706 RPM, 1-1/2 HP, 208V, 3Ø, 6.3 MCA 91.5 MBH T.C., 67.9 S.C. @ 80° F. WB EAT, 95° F. AHB; 4.10 MBH HTG. CAP @ 70° F. INSIDE, 12° F. OUTSIDE. TRANE BWA 0903M FAN COIL WITH BTA 090C3M CONDENSING UNIT (41 MCA MAX @ 240V, 3Ø, 60 HZ. APPROVED EQUAL UNITS OF CARRIER, MCQUAY, OR YORK SHALL BE CONSIDERED.

ALTERNATE

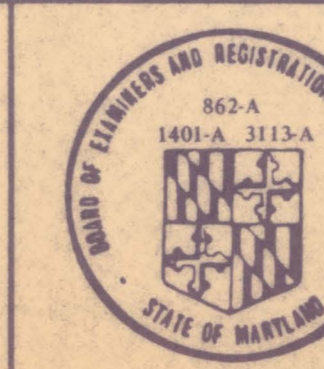
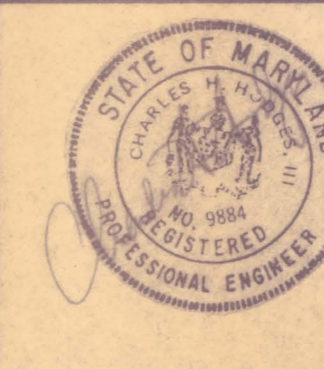
SPLIT SYSTEM HEAT PUMP AIR CONDITIONING (ACU-1) - 2ND FLOOR

3000 CFM @ .50" ESP, 674 RPM, 1-1/2 HP, 208V, 3Ø, 6.3 MCA 91.5 MBH T.C., 67.9 S.C. @ 80° F. DB, 67° F. WB EAT, 95° F. AHB. 41.0 MBH HTG. CAP. @ 70° F. INSIDE, 12° F. OUTSIDE. TRANE BWA 0903M FAN COIL WITH BTA 090C3M CONDENSING UNIT (41 MCA MAX @ 240V, 3Ø 60 HZ.). APPROVED EQUAL UNITS OF CARRIER, MCQUAY, OR YORK SHALL BE CONSIDERED.

REFERENCE NOTES:

- 1- REMOVE SHELVING AND SUPPORTING MEMBERS ALONG WALKWAY IN ATTIC AS REQUIRED FOR DUCTWORK & UNITS; SEE ARCH. NOTES & SPEC.
- 2- REFRIGERANT PIPING SIZES ARE APPROX. - FINAL SIZES SHALL BE RECOMMENDED BY MFGR OF APPROVED EQUIP.
- 3- PROVIDE MOTOR OPERATED DAMPER IN 12"x12" INTAKE DUCT OPEN TO ROOF SPACE. INTERLOCK M.O. DAMPER WITH EXISTING ROOF EXHAUST FAN.

**RENOVATION OF TUDOR HALL IN LEONARDTOWN
ST. MARY'S CDMY, MARYLAND**



**MECHANICAL ROOF SPACE
& SECOND FLOOR PLAN**

SMEALLIE, ORRICK AND JANKA, LTD.
ARCHITECTS
5820 YORK ROAD BALTIMORE, MD. 21212

DATE 3-21-89
JOB NO.
DRAWING NO. **M-2**
OF 2

